



Section 15



Table of Contents

15	PARKLAND AND STREETSCAPING	1
15.1	General Requirements	1
15.2	Parkland Requirements.....	1
15.3	Grading Plans	1
15.4	Grading.....	1
15.5	Servicing.....	2
15.6	Access Walkway	2
15.7	Fencing.....	3
15.8	Seeding	3
15.9	Sod.....	4
15.10	Tree Preservation	4
15.10.1	Prior to Construction.....	4
15.10.2	Tree Protection Zones	4
15.11	Tree Planting / Street Trees	5
15.11.1	Streetscaping Plan	5
15.11.2	Tree Species	5
15.12	Facilities.....	5
15.13	Warranty.....	5
15.14	Trash Receptacle.....	5
15.15	Bollard Lights	6
15.16	Park Benches	6

List of Tables

Table 1. Grading Standards

Table 2: Fencing Requirements

Table 3. Tree Protection Zones

15 PARKLAND AND STREETSCAPING

15.1 General Requirements

This section outlines the recommended approach and design considerations for parklands, streetscaping and access paths as part of developments within the Town of Tillsonburg.

It is the preference of the Town and advantageous to all parties that parklands be constructed to an end use condition less Town installed facilities once phase one of the development reaches 35% completion.

15.2 Parkland Requirements

Consultation with the Town to develop the layout of parkland should be expected. The Town reserves the right to require additional conditions depending on residential density and location within the Town prior to design. This may include, but is not limited to, play equipment, trails, pedestrian cross overs, lighting, landscaping, park furnishings and tree plantings.

It is recommended that developers initiate dialogue with all parties regarding parkland designs and requirements as soon as practically feasible.

15.3 Grading Plans

For all lands dedicated for park purposes the developer is responsible for preparing a detailed grading plan that meets all applicable requirements of Section 14 – Lot Grading, unless amended within this section.

Grading within the parkland or woodland parks are to be optimized for public use subject to review on a case by case basis. Grading of parks and open spaces adjacent to natural heritage areas shall be delineated by appropriate erosion & sediment control fencing as per Section 14 and/or as directed by a site-specific Environmental Impact Study (EIS).

15.4 Grading

Park grading shall provide positive flow from all facilities and adjacent private lands. Limited drainage from private lands may be directed to parkland if it can be accommodated within the park drainage design. Parkland grading and alteration shall be identified in the subdivision grading plan where applicable.

Pathways shall generally be set as high points through the park with positive drainage away from them. Limited amounts of sheet flow may be permitted to cross pathways in certain circumstances in consultation with the Town.

Park grading shall be smooth flowing and shown with spot elevations as required to demonstrate desired slopes, top-of-bank, field corners, and hard surface grades. Swales are to curve to suit facility layout, pathway alignments and natural topographical features.

Sidewalks and hard surface pathways shall be designed for accessibility in accordance with Accessibility for Ontarians with Disabilities Act (AODA) requirements wherever possible.

Refer to Table 1 for specific grading standards.

Table 1. Grading Standards

Surface	Grading Requirements
Sports fields	<ul style="list-style-type: none"> • 1.0% • Directed based on field/site conditions
Asphalt pathways	<ul style="list-style-type: none"> • Less than 8.0% linear slope • 1.0% to 2.0% cross slope
Concrete surfaces	<ul style="list-style-type: none"> • 1.0% to 2.0% cross slope
Woodchip and gravel trails	<ul style="list-style-type: none"> • 2.0% to 3.0% cross slope • Less than 8.0% linear slope is preferred • 15.0% maximum linear slope
Swales	<ul style="list-style-type: none"> • 2.0% to 4.0% for a maximum of 150 m
Embankments	<ul style="list-style-type: none"> • 3:1 maximum slope with undulating surfaces • 2:1 is permitted if area is to be naturalized

Retaining walls are discouraged within a park block unless they are required to maintain existing grades of adjacent facilities or for the protection of significant vegetation.

15.5 Servicing

Water and sewer services are to be designed and constructed within the plan of subdivision to provide service connections to parkland along street frontage as directed by the Town.

15.6 Access Walkway

Access walkways shall be provided where requested by the Town for reasons of, but not limited to, pedestrian connectivity, sewers, drainage, and watermain looping.

Access walkways shall be conforming to the Accessibility for Ontarians with Disabilities Act (AODA) requirements. All walkways shall be 3.0m wide and the full width shall be hard surface, to be determined by Town staff. Grassed paths are not permitted unless directly requested by the Town.

Access walkways may be dual purposed as an emergency access as required by the Town

15.7 Fencing

Fencing is required between parklands and privately owned property and shall be located entirely 0.15m on the Town’s property. Fencing shall not be located adjacent to a public right-of-way, School Block, or any other Town facility, except where fencing is required as directed by the Town. Exceptions will be made at the Town’s discretion when fencing is an integral part of a recreational facility (i.e. baseball diamonds).

No gate shall be installed between private property and parklands.

Fencing, including all hardware and end posts, shall be heavy duty commercial grade and shall be installed by the developer unless otherwise directed by the Town. For new subdivisions, fencing shall be installed within one year of registration and in accordance with the approved engineering plans.

All fencing material shall have a diagonal mesh length of not greater than 38mm and shall consist of 12-gauge galvanized steel wire. The height of the fencing shall be as per Table 2 below

Gates (if required in consultation with the Town) shall be supplied by the developer.

Table 2. Fencing Requirements

Location	Fencing Height Requirements
Perimeter	1.8m
Access Walkway	1.52m

Other materials for fencing may be requested.

15.8 Seeding

Topsoil shall be of the best quality fertile, loose, loamy material screened to be free from stones and weeds, to be placed and graded in the locations and to a minimum depth of 150mm as directed by the Town. Topsoil must not contain any chemical contamination or material detrimental to plant growth.

The primary seed mixture is to have the following composition:

- 30% Canada or Kentucky Blue Grass
- 40% Creeping Red Fescue
- 30% Perennial Rye Grass

Bags are to bear the seed supplier’s label clearly indicating species’ content, grade and mass as well as the recommended seeding rate for the establishment of new lawn areas. If seeded, the application method shall be hydroseeding or another method approved by the Town.

15.9 Sod

Sod is to be No. 1 Nursery Grade Kentucky Bluegrass Nursery Sod according to the Specifications, Classifications and Use of Turfgrass Sod for Nursery Sod Growers Association of Ontario.

Sod is to be seeded and established in nursery sod fields as a turfgrass sod. There shall be no more than 5 broadleaf weeds per 40 square metres of sod and up to 20% non-specified grass. Sod shall be of sufficient density that no surface soil is visible. The grass height is to be between 30mm minimum and 70mm maximum.

15.10 Tree Preservation

Prior to any grading or construction, it is important to evaluate existing trees to retain as many as possible. It is required that a certified arborist, Registered Professional Forester or other qualified person with appropriate training and experience be employed by the Developer to carry out such evaluations on both private and public lands.

15.10.1 Prior to Construction

In areas of reconstruction or within infrastructure renewal projects, tree protection measures must be considered to limit the health impacts on trees within the public rights-of-way and adjacent properties.

15.10.2 Tree Protection Zones

A tree protection zone (TPZ) is the calculated area around the base of a tree that is designated for tree protection both above and below ground. Caution and alternative construction methods (such as air chisel/spade, vacuum excavation, root pruning, etc.) are encouraged to limit the damage to public trees.

Tree protection fencing/barriers should be placed on the perimeter of the TPZ wherever possible.

General TPZ guidelines are shown in the Table 3.

Table 3. Tree Protection Zones

Minimum Protection Distances Required Town-owned Trees	Minimum Protection Distances Required For areas designated Open Space, Parkland or Woodlands
6.0 times the Trunk Diameter at Breast Height (1.4m)	12.0 times the Trunk Diameter at Breast Height (1.4m)

Should construction activities be considered within calculated TPZs, a certified arborist should be retained to comment on the health impacts and provide recommendations for preservation and/or removal.

15.11 Tree Planting / Street Trees

Right of way street trees are to be required for each lot and or unit and location based on Town of Tillsonburg Standard drawings.

Private tree plantings are to be a minimum of 3m from the property line in all cases.

15.11.1 Streetscaping Plan

The developer is to submit a Tree Planting Plan for streetscaping or parklands if requested by the Town, prepared by a Landscape Architect as part of the first engineering submission. The plan shall list in table format, the selected species by common and cultivar name, size, planting state and include in the notes all required specifications.

Consideration shall be given to avoid utility and underground infrastructure conflicts in all Tree Planting Plans within the municipal right-of-way.

15.11.2 Tree Species

Tree species shall be selected by a qualified professional and must be approved by the Town prior to planting. The tree species are to follow the Town of Tillsonburg Tree By-law.

The planting plan shall consider species diversity.

The trees must be 50mm caliper or larger with a single trunk.

Native tree species are preferred, especially near natural areas. No invasive or non-native tree species are to be planted within 250m of a natural area.

All trees must be of No. 1 Grade.

15.12 Facilities

Park facilities are not generally installed by a developer as part of park development however the developer is to obtain a landscape architect when required by the Town. Occasionally, developers may proceed with a certain level of facility development to provide an amenity within their subdivision, subject to the discretion and approval of the Town.

15.13 Warranty

A one year warranty is to be provided for all plantings within the park.

15.14 Trash Receptacle

Trash receptacles shall follow the below design criteria

- Model LR305R by Wabash Valley – or approved equivalent
- 32 gallon
- Rib pattern

- Plastisol finish in black
- With side door
- Including bin liner and dome top lid in black
- Surface mount on 1.0m x 1.0m concrete pad per manufacturer's specifications

15.15 Bollard Lights

Bollard Lights shall follow the below design criteria

- Solar powered LED
- Model WLB-102 by Firstlight Technologies or approved equivalent
- Install per manufacturers specifications on concrete footing 600mm from edge of path

15.16 Park Benches

New parkland developments shall include a minimum of four (4) park benches per acre supplied and installed by the Developer. The locations of the benches shall be in close proximity to hard surface pathways.

- The benches shall be Model CY420R by Wabash Valley or approved equivalent
- Length 6'-0"
- Rib pattern
- Plastisol finish in black
- Surface mount concrete pad per manufacturer's specifications